

Jessica Joseph (Hartley)
55 W. Yorkshire Avenue
Northfield, NJ

June 7, 2024

City of Northfield
Department of Housing & Zoning
1600 Shore Road
Northfield, New Jersey 08225
Attn: Zoning Office/Planning Board

RE: RESIDENTIAL ZONING APPLICATION/LOCATION: Block 85, Lot 4

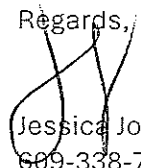
Dear Sirs/Madams:

I appeal to this board to approve the submitted plans to build an addition at the above-referenced location granting a variance for the few angled feet that extend slightly over the setback requirements as laid forth in the enclosed survey.

In August, 2020, I was lucky enough to come across and purchase my first house as a single woman ready to set up roots in a neighborhood I'd grown to love during long days of COVID lockdown from the many miles walked, biked, and jogged on the Northfield Bikepath. The house was built in 1961 and was only occupied by 2 prior sets of owners, and I was eager to take this classic, well-built, and well-loved house and turn it into my home. Not surprisingly, these older homes need updating and renovations to keep up with the beauty of the neighborhood around it and ensure that it can be a comfortable home for multiple generations, and this one is no exception. One small part of the plans involves adding a second story above the existing converted garage space to create another bedroom. In its original layout, as seen on the original drawings submitted for approval, the existing ground floor structure built in 1961 extends slightly over the current setback restrictions, and in his drawings, our architect draws the second floor addition in line with that overage so as to create a smooth, cohesive look to the entire structure. Please see enclosed drawings for reference. If we are unable to build the second floor addition flush with the existing exterior wall, the structure will be disjointed and irregular. All other elements of the design of this building are well within the setback requirements.

I recently got married, and my husband and I are looking forward to turning this house into our dream home where we can spend our lives together in a neighborhood that feels just as much like home as the house itself. We've also been so grateful for the help of our architect who did an amazing job putting our proposed new layout on paper, really allowing us to visualize that dream home. I couldn't be happier in my decision to buy this house and I implore this gracious board to grant us the permits necessary to move forward with our plans as drawn. Granting this variance does not encroach on any surrounding resident's property or visuals. It does, however, allow my husband and I to build the home we've always wanted and spend the foreseeable future enhancing the aesthetics of our neighborhood. Feel free to contact me at any time should you have any questions or require anything further. We appreciate your time and consideration.

Regards,



Jessica Joseph (Homeowner)
609-338-7877

PLANNING BOARD APPLICATION

CASE # 85-4

FOR OFFICIAL USE ONLY

Date of Application Received: _____

Date: 6-11-24 Date of Deposit

Fee Paid 6-7-24

Date: _____ Affidavit of Service

Time Period Expires _____

Date File Complete _____

Hearing Date 7-11-24

INFORMATION REGARDING APPLICANT

Applicant's Full Legal Name Jessica Joseph

Applicant's Mailing Address 55 W Yorkshire Avenue, Northfield, NJ 08225

Applicant's Phone Number 609-338-7877 e-mail address jahartley1987@gmail.com

Applicant is a: Corporation Partnership Individual

Pursuant to N.J.S.A. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporation or partnership must be disclosed. Attach list.

NATURE OF APPLICATION, check appropriate items:

- Appeal of action of administrative officer
- Interpretation of development ordinance or map
- Variance: "C" Variance (Hardship)
- "D" Use Variance
- "D" Non-Conforming Use
- Conditional use
- Subdivision - Minor
- Subdivision - Major
- Site Plan - Waiver
- Site Plan - Minor
- Site Plan - Major
- Other _____

Proposed use, Building, or Subdivision is contrary to:
 List Article and Section of the Ordinance from which Variance is sought:

ART. _____ Section _____ Required _____ Proposed _____

ART. _____ Section _____ Required _____ Proposed _____

ART. _____ Section _____ Required _____ Proposed _____

If additional space is needed, attach list to the application

INFORMATION REGARDING PROPERTY:

Address: 55 W. Yorkshire Ave, Northfield, NJ 08225

Tax Map BLK 85 LOT(S) 4 Dimension of Property _____

BLK _____ LOT(S) _____ Dimension of Property _____

Zoning District _____

Location approximately _____ feet from intersection of _____

and _____

Last Previous Occupancy _____

	<u>Size Existing Building</u>	<u>Proposed Structure</u>
Front (feet)	<u>44'-0"</u>	<u>16'-0" (Rear Addition)</u>
Deep (feet)	<u>32'-0"</u>	<u>26'-10" (Rear Addition)</u>
Square (feet)	<u>1,846 SF (1st & 2nd)</u>	<u>1,129 SF (1st & 2nd)</u>
Height (feet)	<u>20'-4"</u>	<u>23'-9"</u>
Story	<u>2-Story</u>	<u>2-Story</u>
Building Coverage	<u>1,280 SF Bldg Area Coverage</u>	<u>687 SF (1st Flr Addition & Deck)</u>

SET BACKS ZONING REQ.

Present

Proposed

Frontage
Y or N

Corner Lot

Front Yard

Front Yard

31.0 FT

Same

Side

7.9 FT

7.9 FT (2nd Flr) 10.87Ft Rear Addition

Side

21.7 FT

Rear

53.6 FT

36.4 FT

Lot Size Area

8,570 S.F.

Same

Prevailing Setbacks of Building within one Block _____ ft.

Present use _____ proposed use _____

Has there been any previous appeal or application involving these premises?

Yes or No

If yes, when _____

and to whom _____

Nature of appeal or application 2nd Floor Addition over existing 1st Floor
with non-conforming side setback

Disposition _____ Date _____

Application for Subdivision _____ site plan - conditional use approval _____

The relationship of the applicant to the property in questions is:

Owner _____ Tenant _____

Purchaser under Contract (submit copy) _____ Other _____

If the applicant is not the owner of the property, the applicant must obtain and submit a copy of this application signed by the owner in the space provided.

Owner's Authorization: I hereby certify that I reside at:

In the County of Atlantic State of New Jersey

and that I am the owner of all that certain lot, _____; Piece or parcel of land known as
Block 85 Lot(s) 4 commonly known as 55 W Yorkshire Avenue
which property is the subject of the applicant, and said application is hereby authorized by
me.

Owner's Signature _____

Applicant's Attorney _____ Phone # _____

Address _____

Applicant's Engineer _____ Phone # _____

Address _____

Applicant's Architect Paul P. Wolfer, AIA, NCARB Phone # 856-296-2114

Address 6908 Rogers Ave., Pennsauken, NJ 08109 NJ License #: 21A102208000

Applicant's Planner _____ Phone # _____

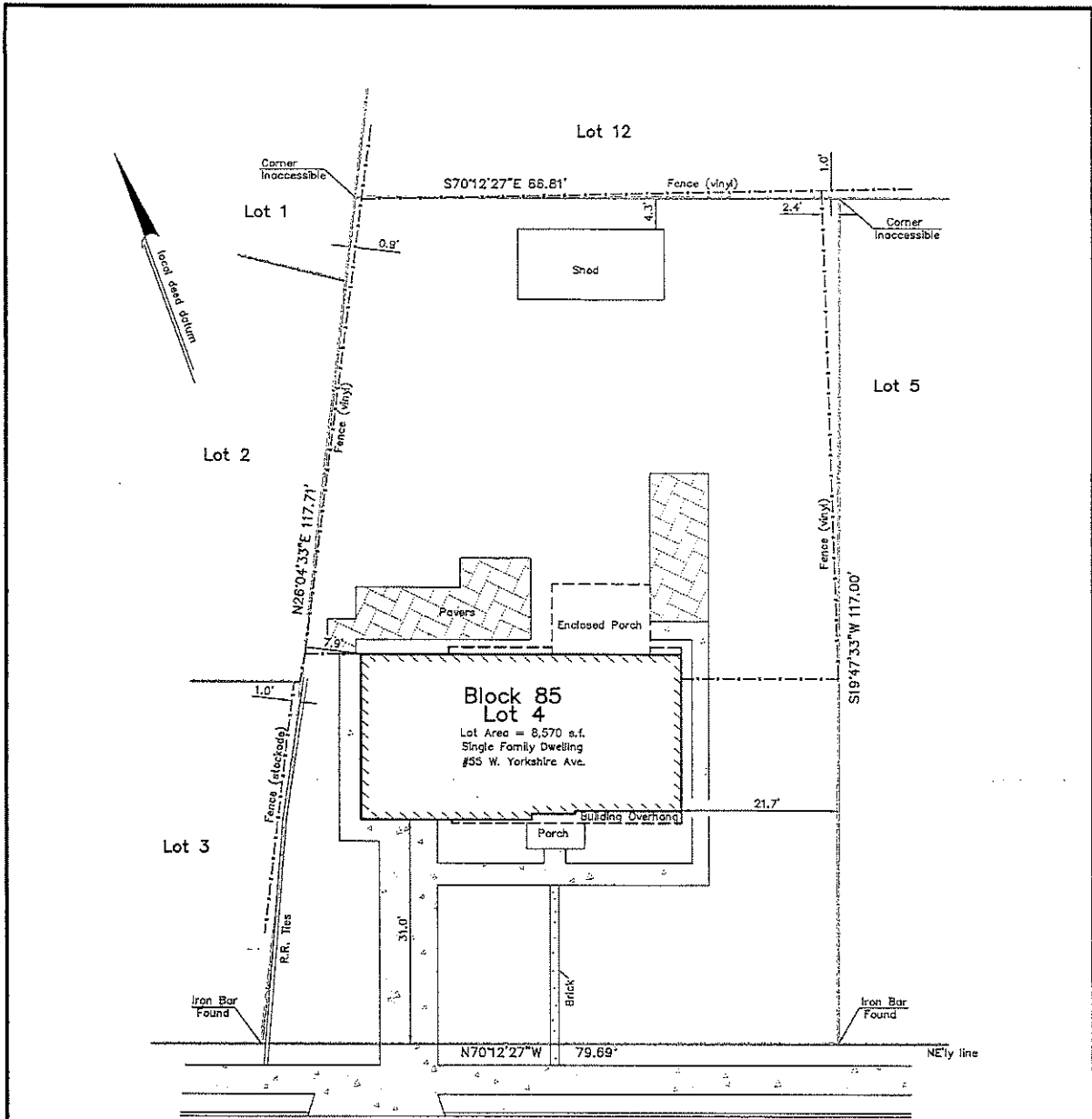
Address _____

Applicant's Verification:

I hereby certify that the above statements made by me and the information contained in the papers
submitted in connection with application is true.

Applicants Signature _____

Notice: The applicant is responsible to publish and serve notice of this application after receiving a
hearing date from the Secretary of the Planning Board, ten (10) days prior to the hearing date.



YORKSHIRE AVENUE
(50' wide)

GENERAL NOTES:

Offsets are shown only for checking compliance with deed restrictions and zoning regulations. Offsets shall not be used for any other purposes. Surveyor shall not have any responsibility or liability if the offsets shown are used other than as intended.

This property is subject to any documents of record, either recorded or unrecorded. Underground improvements, easements, property line agreements or other conditions unknown to the surveyor are not shown. Surveyor reserves the right to modify this survey should any such information become available.

Surveyor's signature and embossed seal signify that this survey was prepared in accordance with the current regulations adopted by the New Jersey State Board of Professional Engineers and Land Surveyors. Only signed and sealed copies of this survey shall be considered as true copies.

The illustration of riparian claims or regulated wetlands affecting subject property, if any, are not included as a part of surveyor's contract. Surveyor reserves the right to modify this survey should client specifically request these additional services.

This survey has been prepared only for the use of the named parties. Surveyor shall not have any responsibility or liability should this survey be used for resale of property, for use with survey affidavits, or for use by any other person or entity not specifically named, for any reasons other than as intended.

Jessica Hartley

In consideration of the mutual covenants and promises contained in the agreement between the above named parties and the undersigned, the provisions of which are incorporated herein by reference, I declare that this plan is based on a field survey made on 02/01/2024 by me or under my immediate supervision in accordance with N.J.A.C. 13:40-5.1, and to the best of my professional knowledge, information and belief.

- a) correctly represents the conditions found at and as of the date of the field survey, except such assessments, if any, below the surface of the lands or on the surface of the lands and not visible.
- b) except as shown on the plan, there are no discrepancies between the boundary lines of the subject property as shown on the plan and as described in the legal description of record.

Paul M. Koelling
PAUL M. KOELLING
LAND SURVEYOR
PLS; N.J. LICENSE NO. 246S04328800

Date	Revision
SURVEY OF PREMISES	
SITUATE IN CITY OF NORTHFIELD COUNTY OF ATLANTIC, N.J. #55 W. Yorkshire Avenue BLOCK 85 LOT 4	
PAUL KOELLING & ASSOCIATES, LLC PROFESSIONAL LAND SURVEYING 2161 SHORE ROAD LINWOOD, NJ 08221 phone (609) 927-0279 CERTIFICATE OF AUTHORIZATION #24GA28256300	
Date: February 2, 2024	by: KOMIS
Scale: 1" = 15'	